

After recording return to:
Shade Tree, Inc.
40160 E 1st Street
Lowell, OR 97452



\$167.00

08/04/2022 11:53:48 AM

RPR-AMEN Cnt=1 Pgs=17 Stn=15 CASHIER 34
\$85.00 \$10.00 \$11.00 \$61.00

**AMENDMENT to DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND
EQUITABLE SERVITUDES FOR SUNRIDGE FIRST ADDITION**

Property: **SUNRIDGE FIRST ADDITION**
Declarant: **SHADE TREE, INC.**, an Oregon corporation

In accordance with Section 8.1 of the Declaration of Covenants, Conditions, Restrictions and Equitable Servitudes for Sunridge Subdivision, recorded April 10, 2001, reception number 2001-020572, and as amended by that document recorded on January 31, 2005, reception number 2005-007739, and by that document recorded on February 2, 2005, reception number 2005-008204, and by that document recorded on June 16, 2006, reception number 2006-041857, and by that document recorded on July 16, 2014, reception number 2014-027262 (hereafter "the CC&Rs"), Declarant SHADE TREE, INC. does hereby grant Variances to said Declaration as follows:

LOT 17: For Lot 17, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 17 titled "Vegetation Height Exception Areas".

LOT 19: For Lot 19, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 19 titled "Vegetation Height Exception Areas".

LOT 21: For Lot 21, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 21 titled "Vegetation Height Exception Areas". Also for Lot 21, the 832' Elevation Limit listed on the Individual Lot Map for Lot 21, and described in Section 5.2, is amended to 834' for the main ridge of the house which runs North-South.

LOT 22: For Lot 22, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 22 titled "Vegetation Height Exception Areas".

LOT 23: For Lot 23, the 867' Elevation Limit listed on the Individual Lot Map for Lot 23, and described in Section 5.2, is amended to 867'8". Also for Lot 23, Section 5.9 is modified to allow a fence up to six feet in height within the northernmost (front) twenty feet of the lot, provided that the fence does not extend farther to the north than the adjacent portion of the house.

LOT 25: For Lot 25, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 25 titled "Vegetation Height Exception Areas".

LOT 26: For Lot 26, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 26 titled "Vegetation Height Exception Areas".

LOT 27: For Lot 27, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 27 titled "Vegetation Height Exception Areas". Also for Lot 27, the 871' and 873' Elevation Limits listed on the Individual Lot Map for Lot 27, and described in Section 5.2, are amended to 874' for the eastern 6 feet of the main ridge which runs East-West, and the associated 4:12 pitched roof of the house.

LOT 29: For Lot 29, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 29 titled "Vegetation Height Exception Areas".

LOT 30: For Lot 30, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 30 titled "Vegetation Height Exception Areas".

LOT 31: For Lot 31, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 31 titled "Vegetation Height Exception Areas". Also for Lot 31, the Elevation Limits listed on the Individual Lot Map for Lot 31, and described in Section 5.2, are amended as follows: the peak of the garage may extend to 896.5' in the 895' zone, and the peak of the house may extend to 897.5' in the 891' and 893' zones.

LOT 32: For Lot 32, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 32 titled "Vegetation Height Exception Areas".

LOT 33: For Lot 33, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 33 titled "Vegetation Height Exception Areas".

LOT 34: For Lot 34, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 34 titled "Vegetation Height Exception Areas".

LOT 36: For Lot 36, the 902' Elevation Limit listed on the Individual Lot Map for Lot 36, and described in Section 5.2, is amended to 903.75' for the eastern 5 feet of the main ridge which runs East-West, and the associated 4:12 pitch roof.

LOT 37: For Lot 37, the six-foot height limit for plants and Landscaping required by Section 5.2.2 is increased in certain specific areas, to the specific heights given for each such area, on the attached map for Lot 37 titled "Vegetation Height Exception Areas".

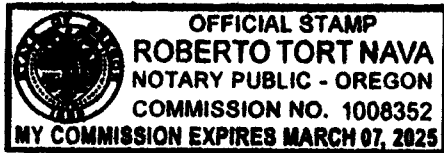
Dated this 4th day of August, 2022 by the DECLARANT:

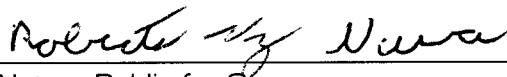


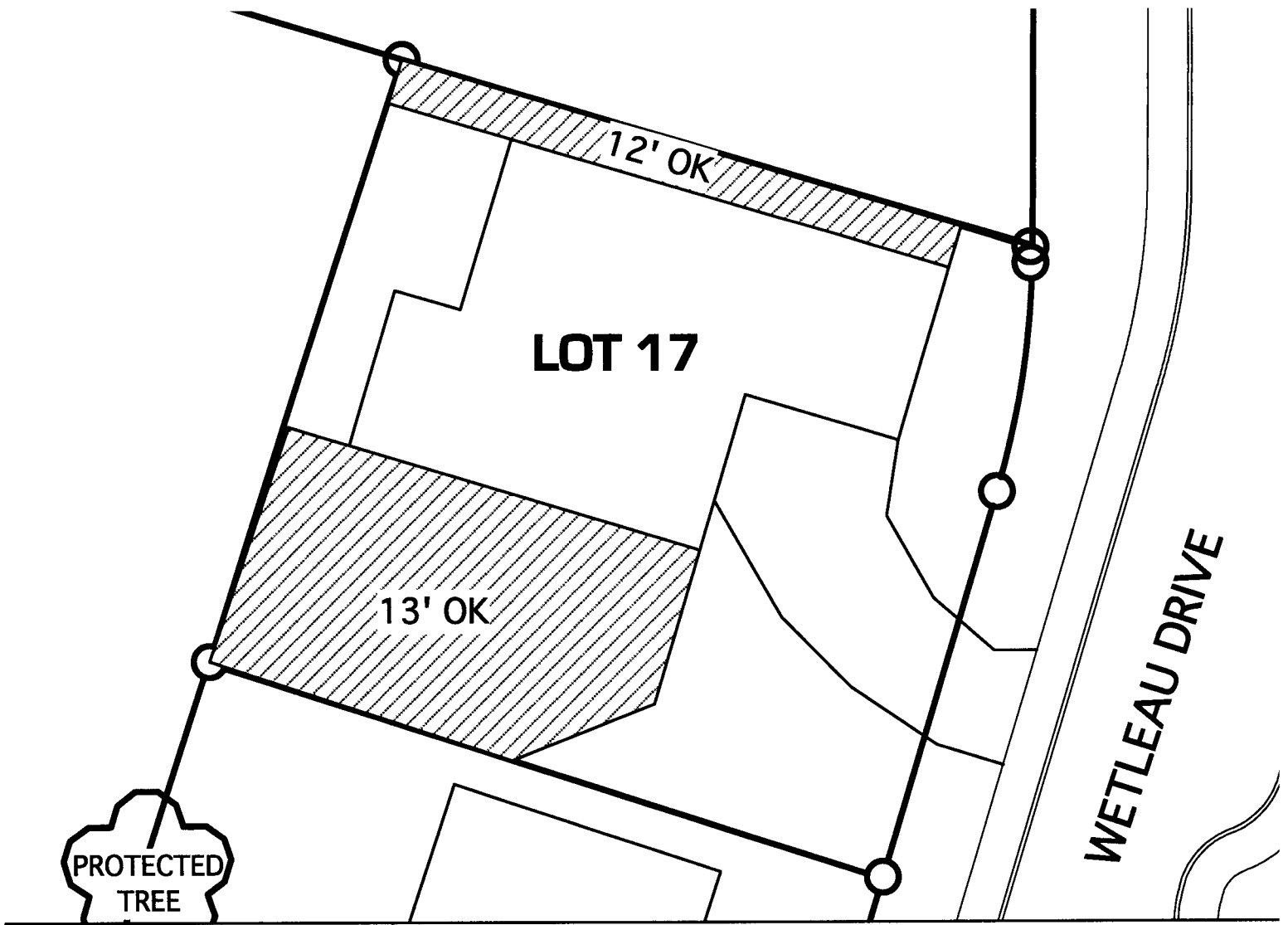
SHADE TREE, INC., by MIA NELSON, Vice President

STATE OF OREGON, County of Lane, ss.

On this 4th day of August, 2022, personally appeared the above named Mia Nelson, and did say that she is the Vice President of Shade Tree, Inc. and that this instrument was signed on behalf of the corporation and by the authority of its board of directors, and acknowledged the foregoing instrument to be her voluntary act and deed. Before me:




Notary Public for Oregon
My Commission Expires: 3/7/2025

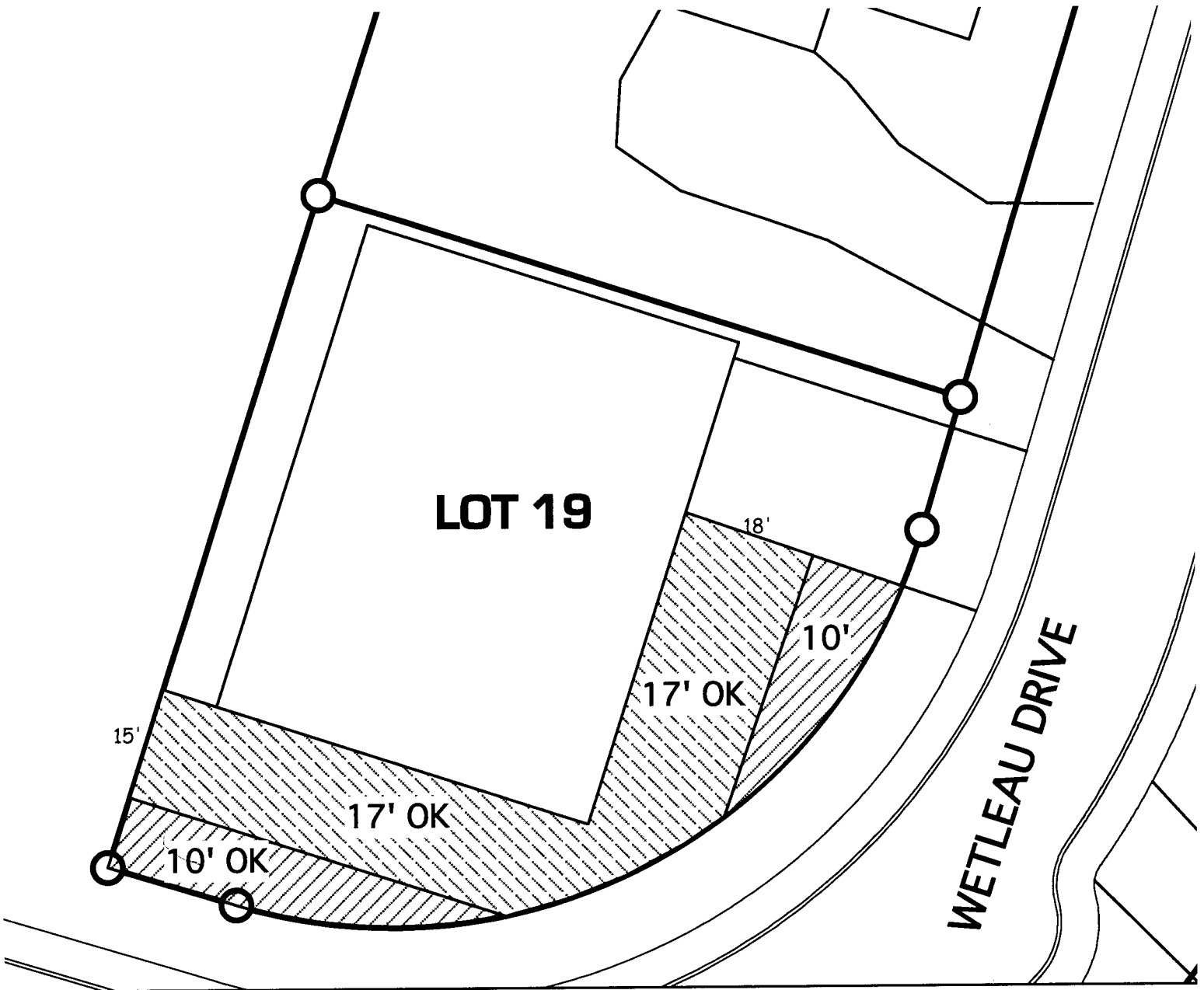


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 17

SCALE: 1" = 20'





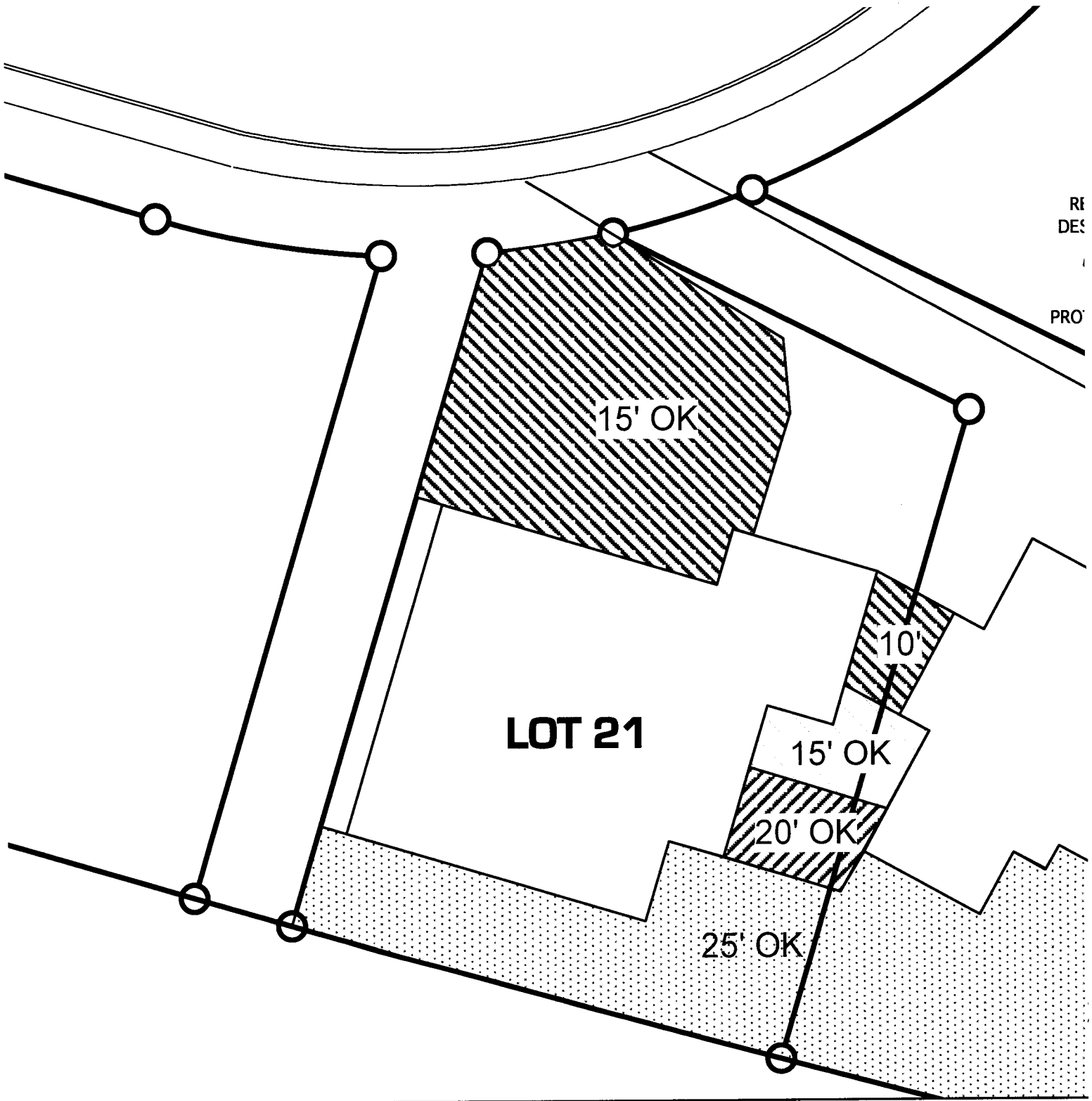
VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 19

SCALE: 1" = 20'



RE
DES
PRO



VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

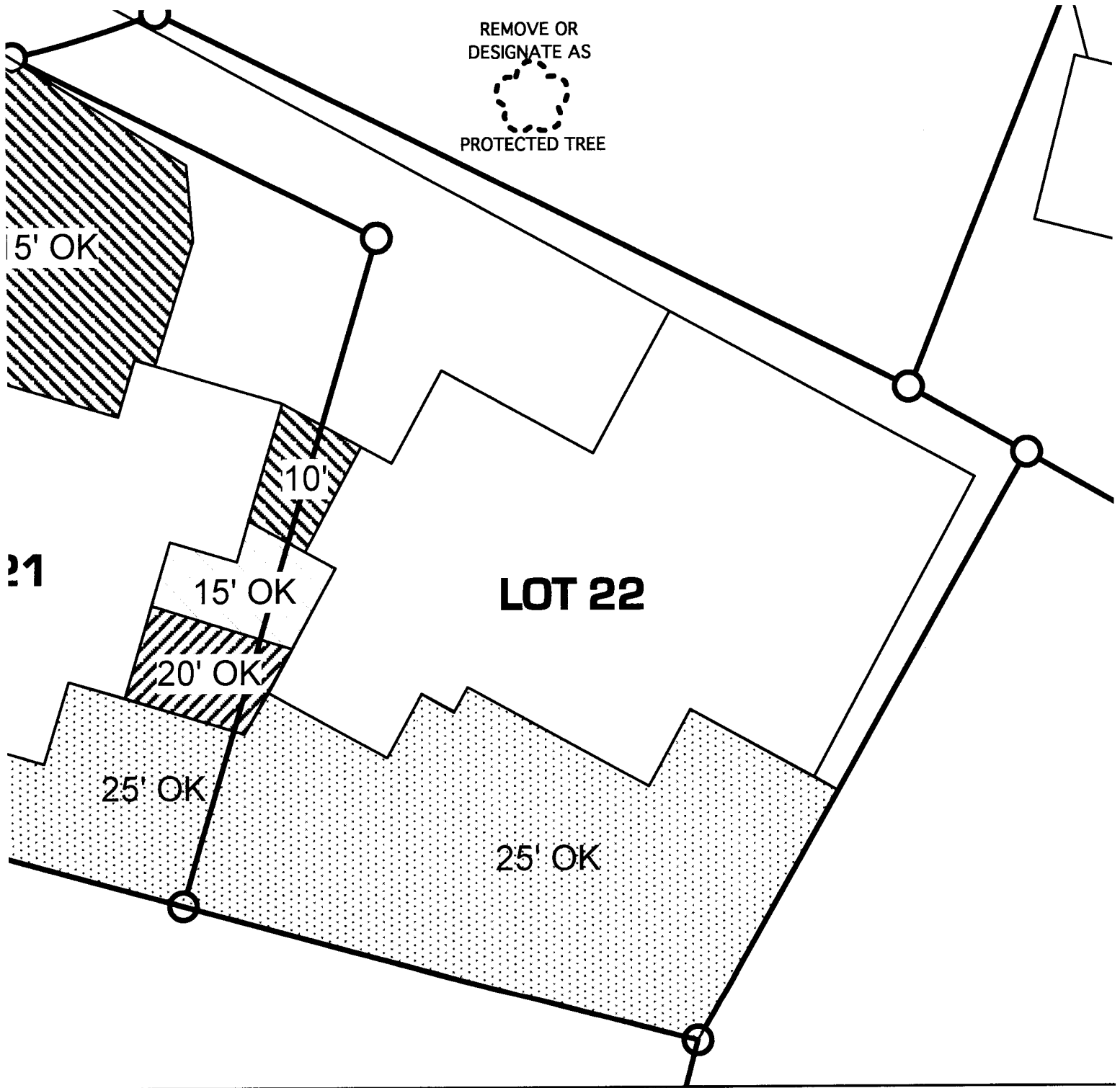
LOT 21

SCALE: 1" = 20'



REMOVE OR
DESIGNATE AS

PROTECTED TREE

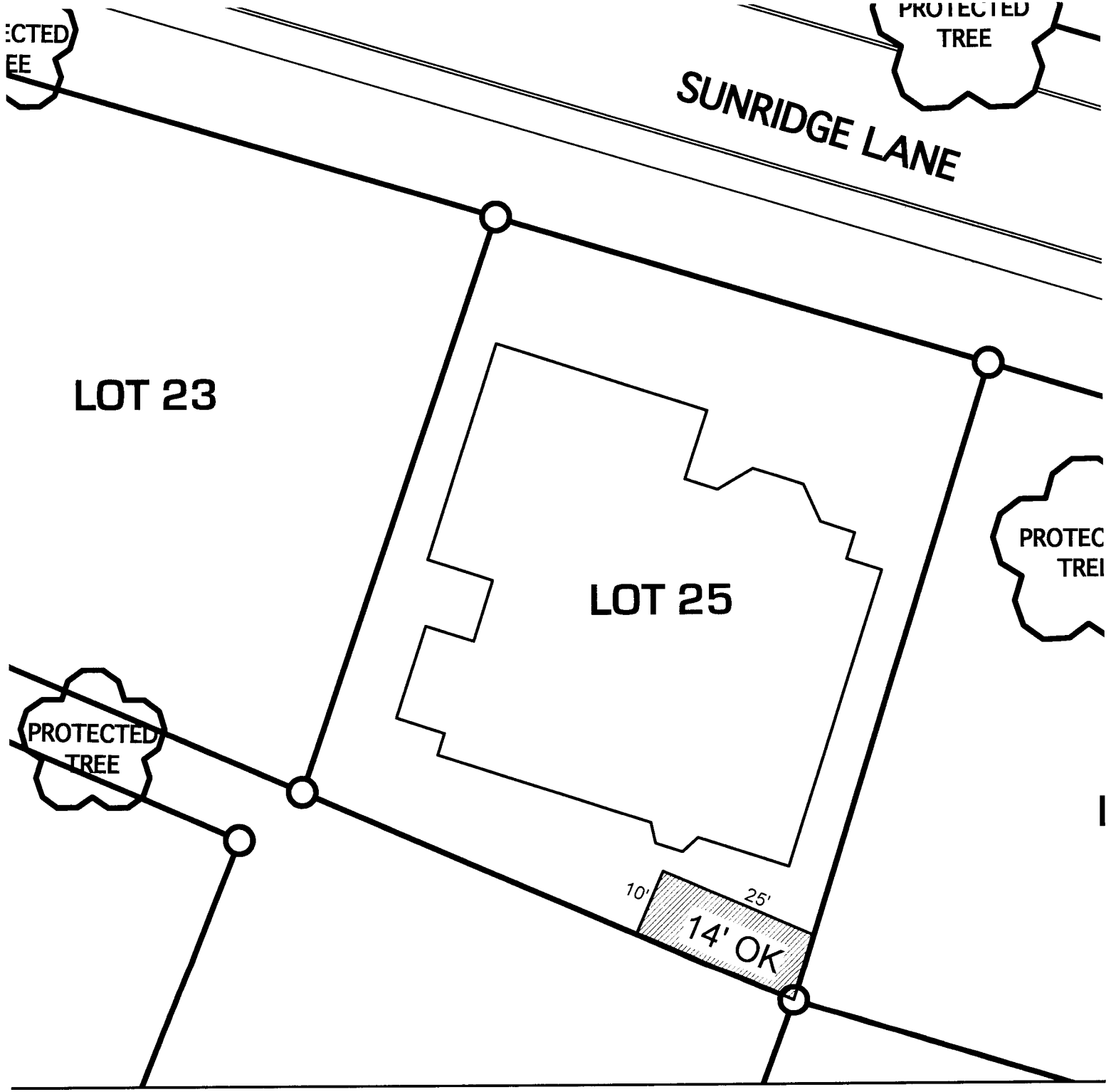


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 22

SCALE: 1" = 20'

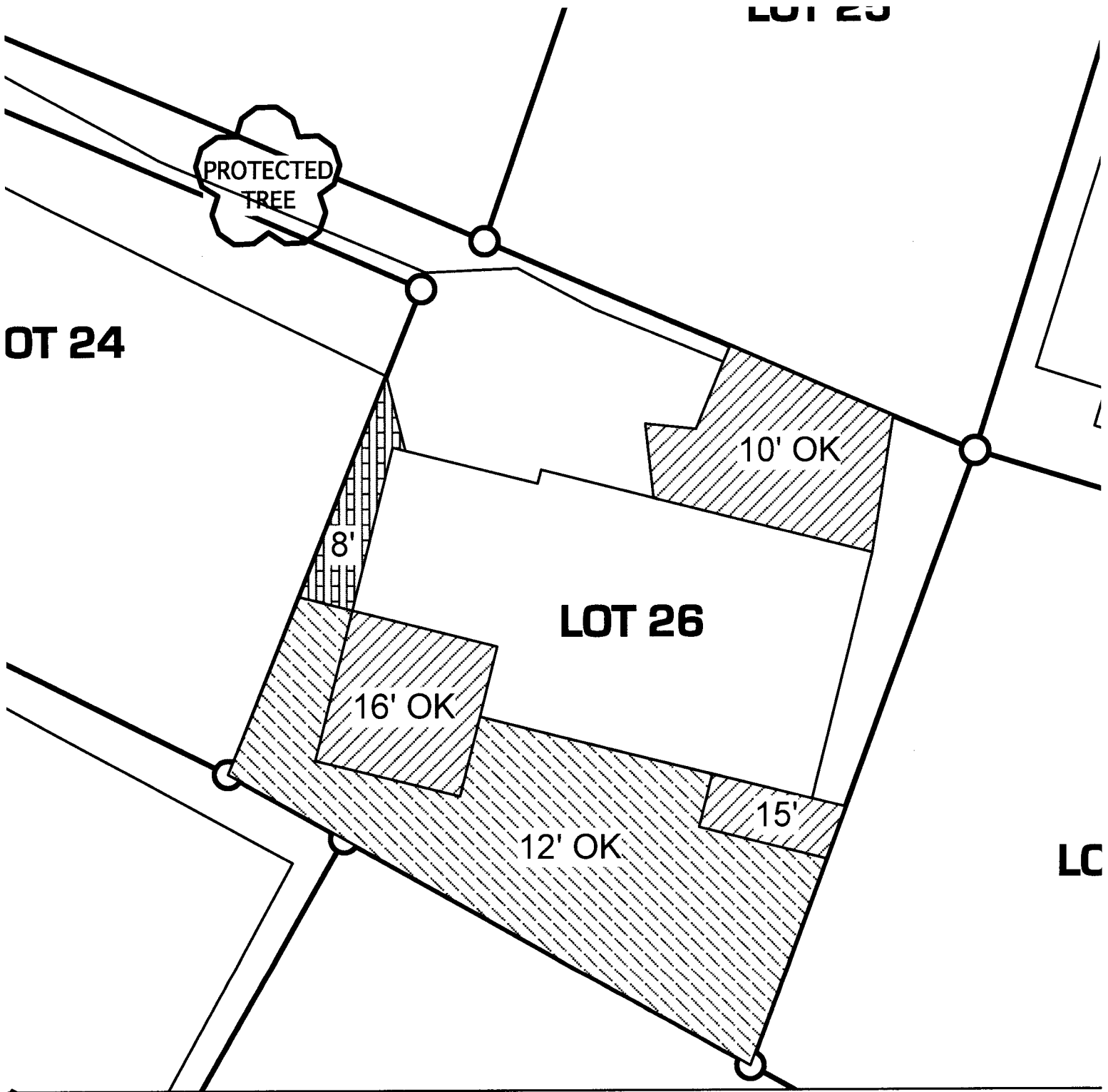




VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 25 **SCALE: 1" = 20'**



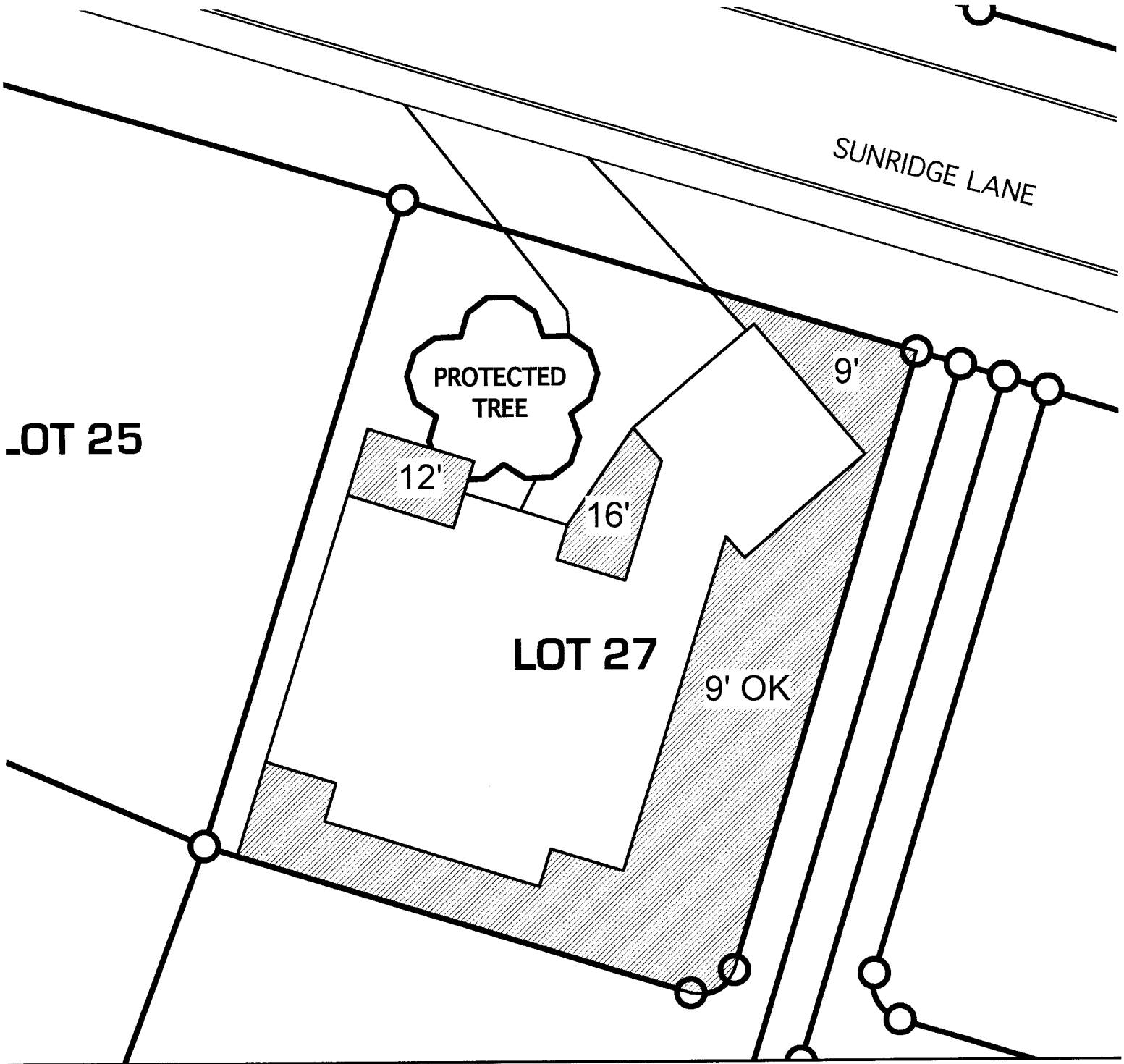


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 26

SCALE: 1" = 20'



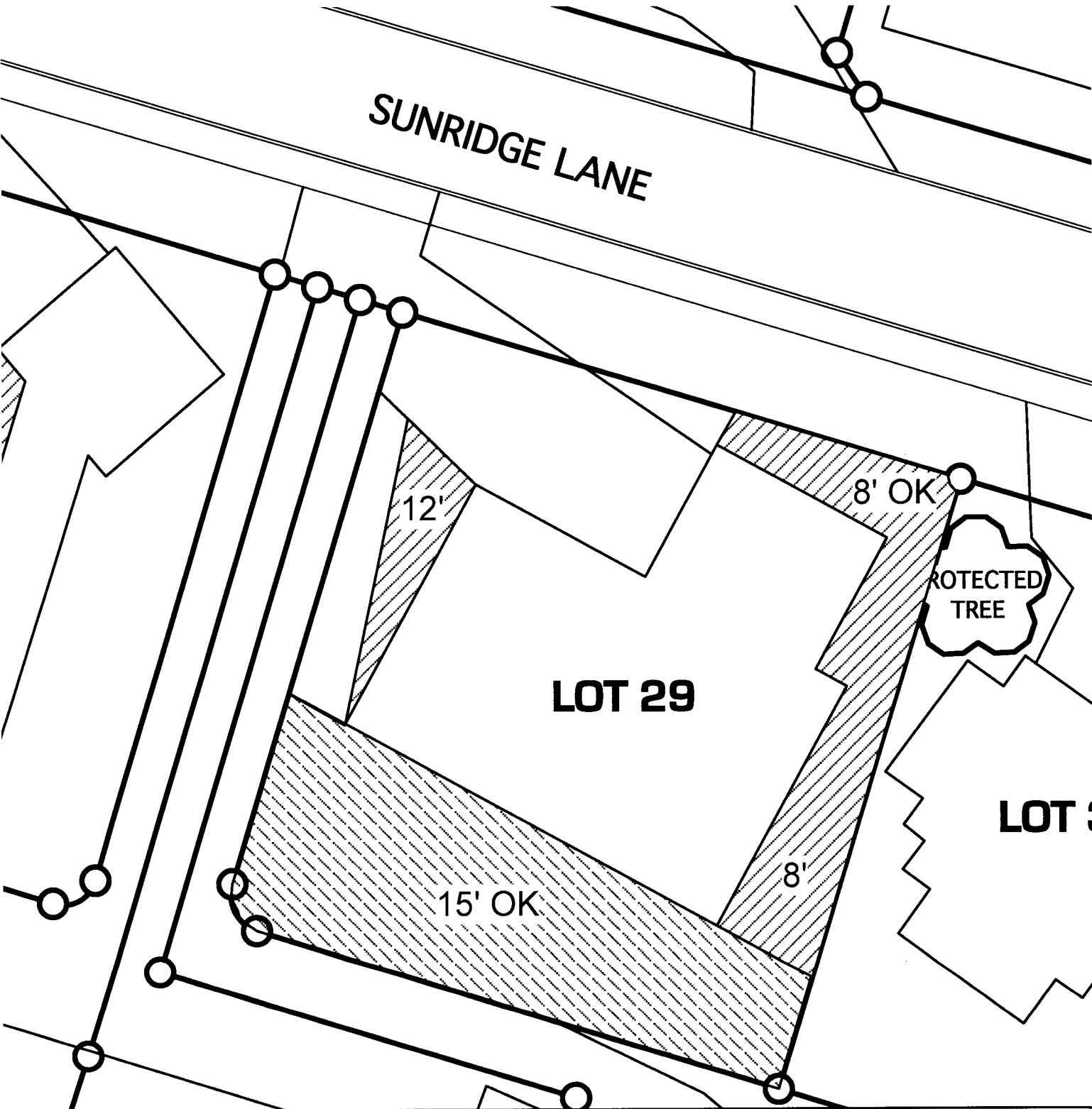


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 27

SCALE: 1" = 20'





VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 29



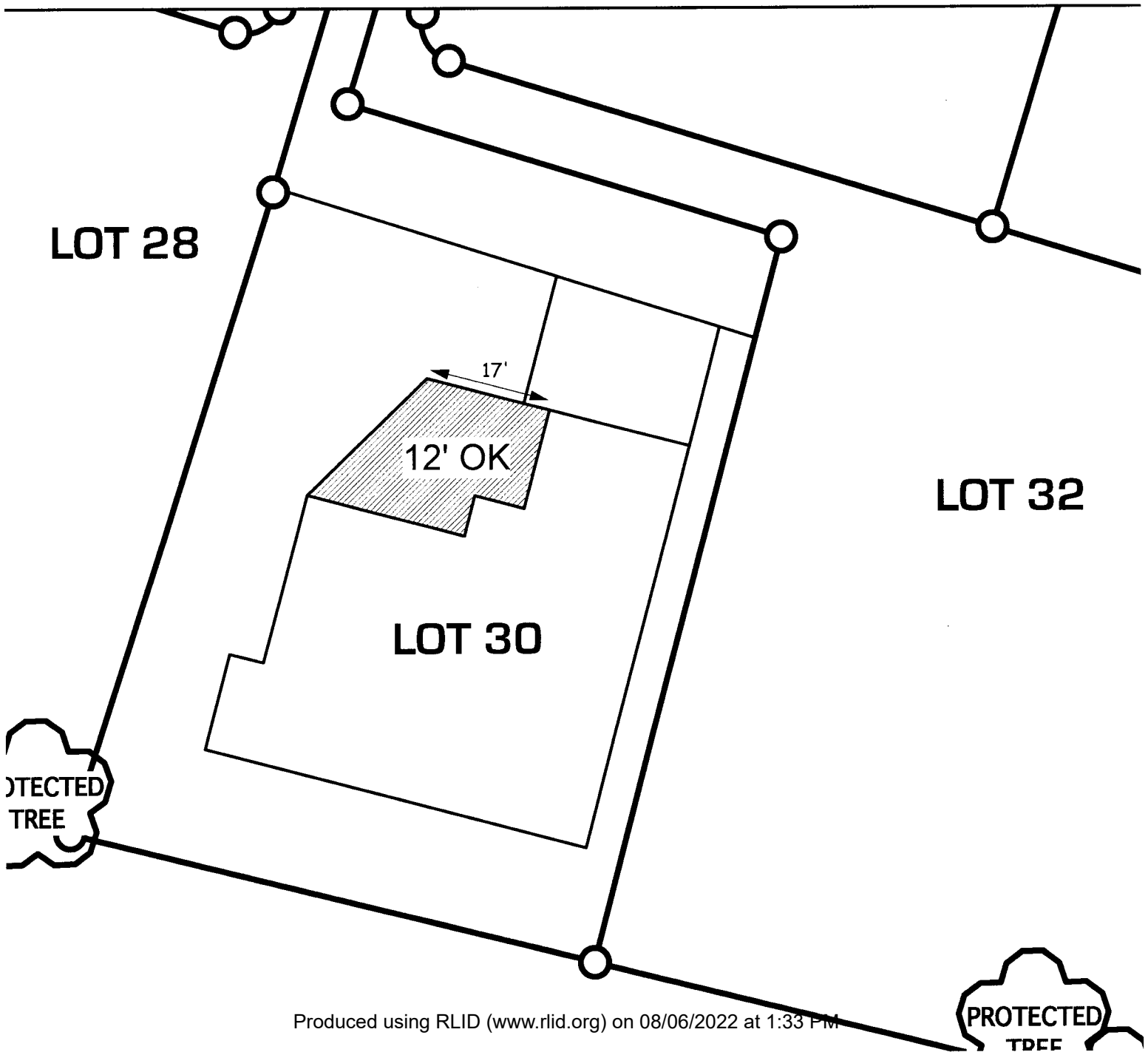
SCALE: 1" = 20'

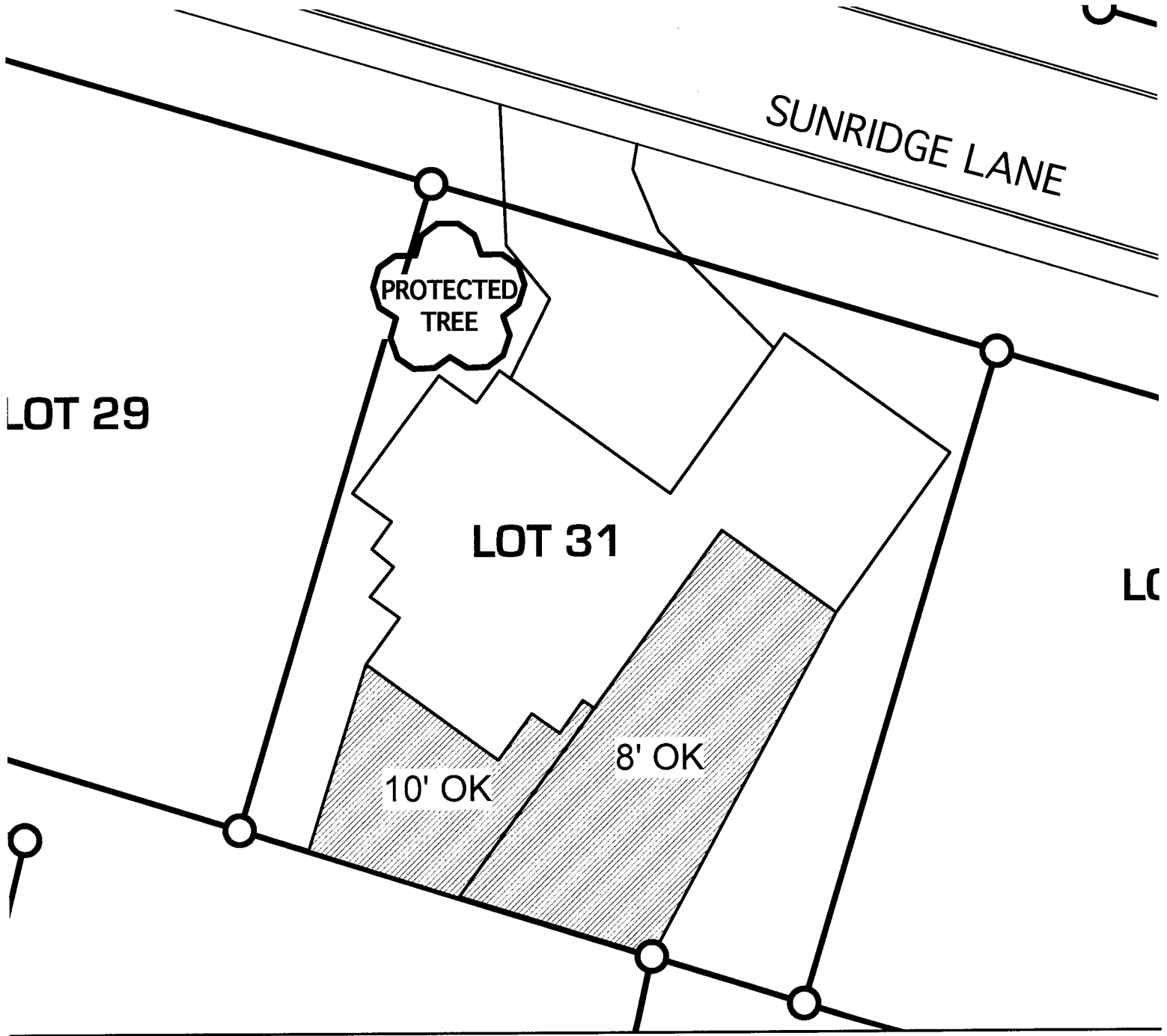
VEGETATION HEIGHT EXCEPTION AREAS

ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 30

SCALE: 1" = 20'



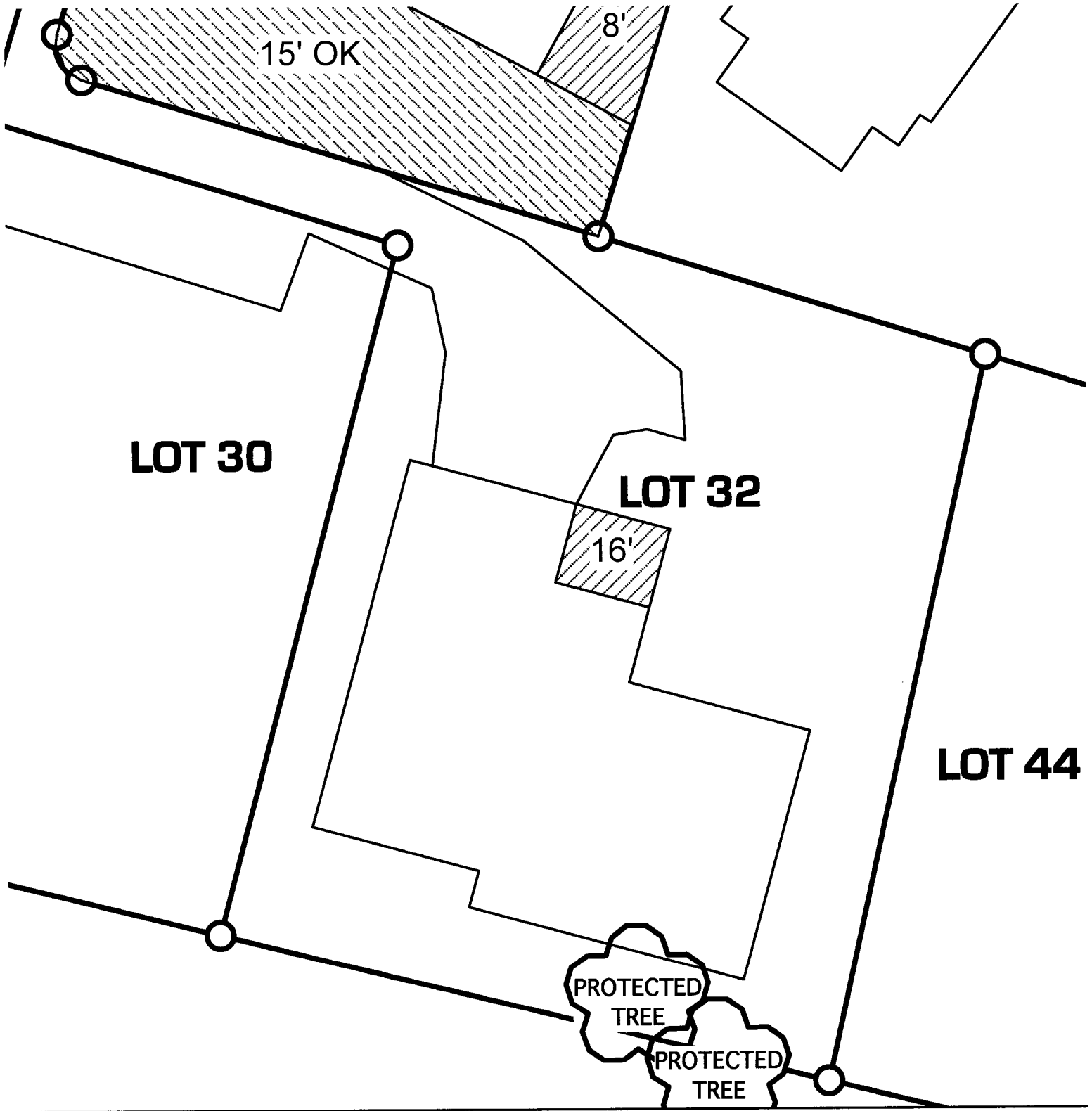


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 31

SCALE: 1" = 20'



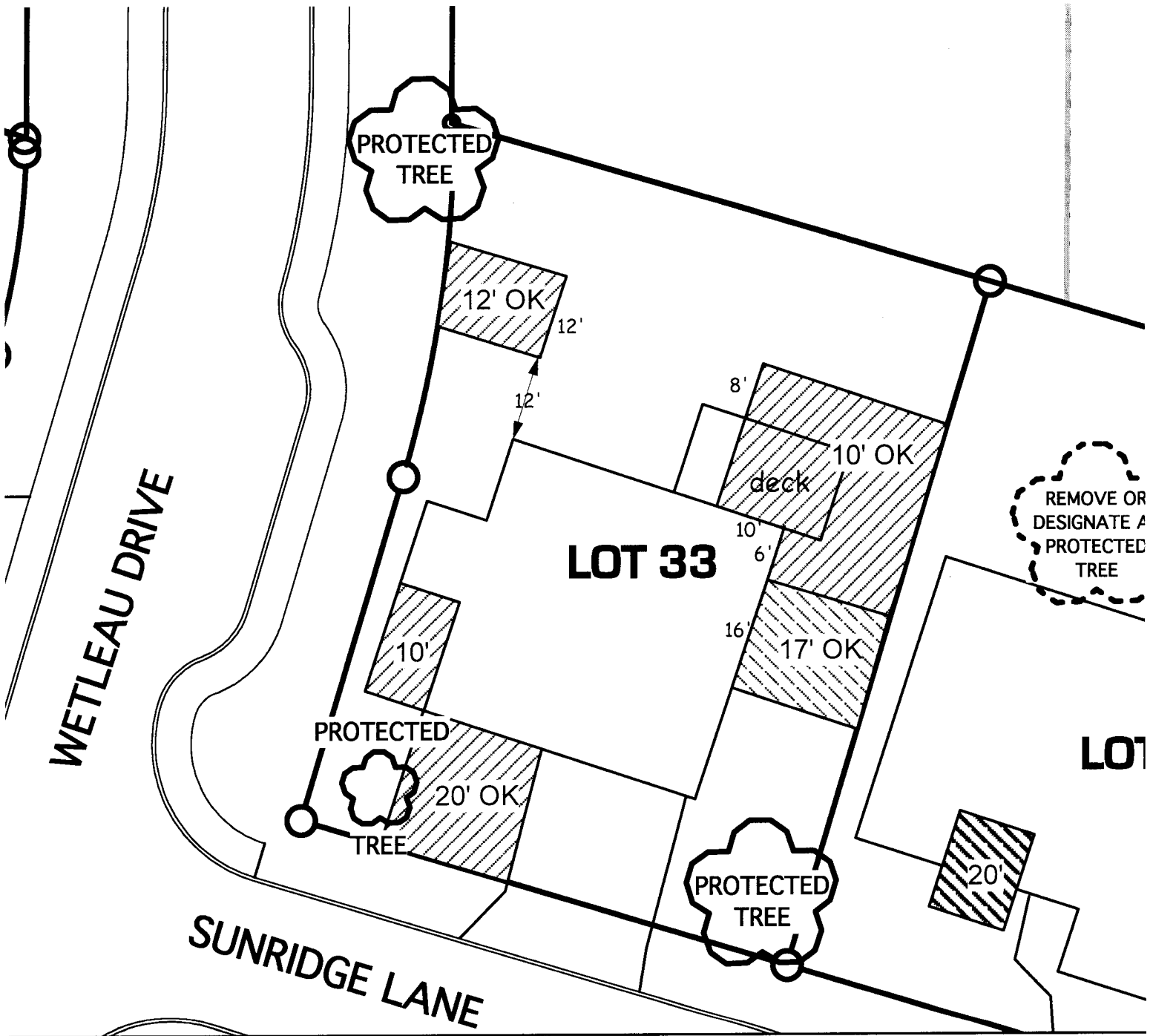


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 32

SCALE: 1" = 20'



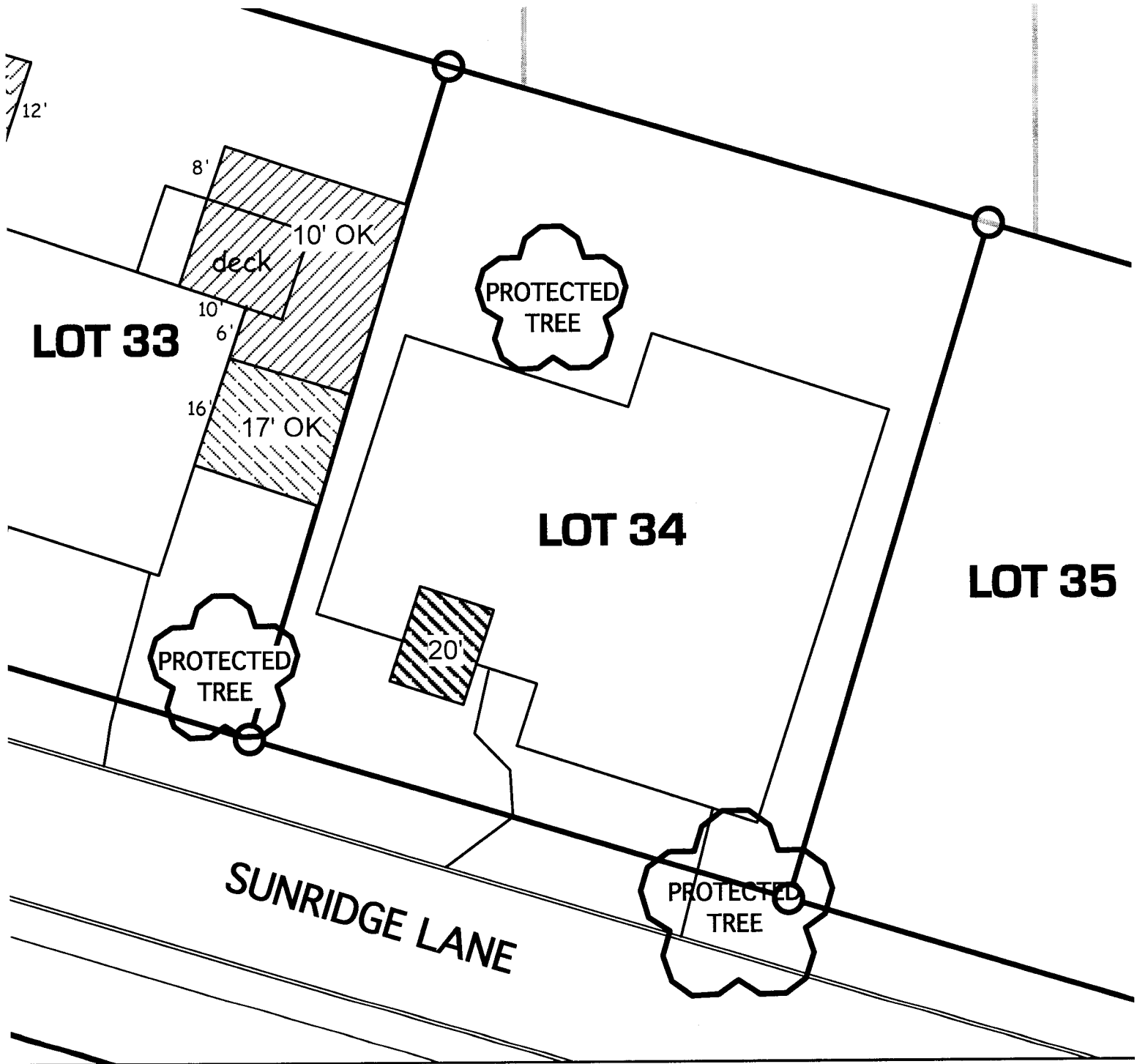


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 33

SCALE: 1" = 20'



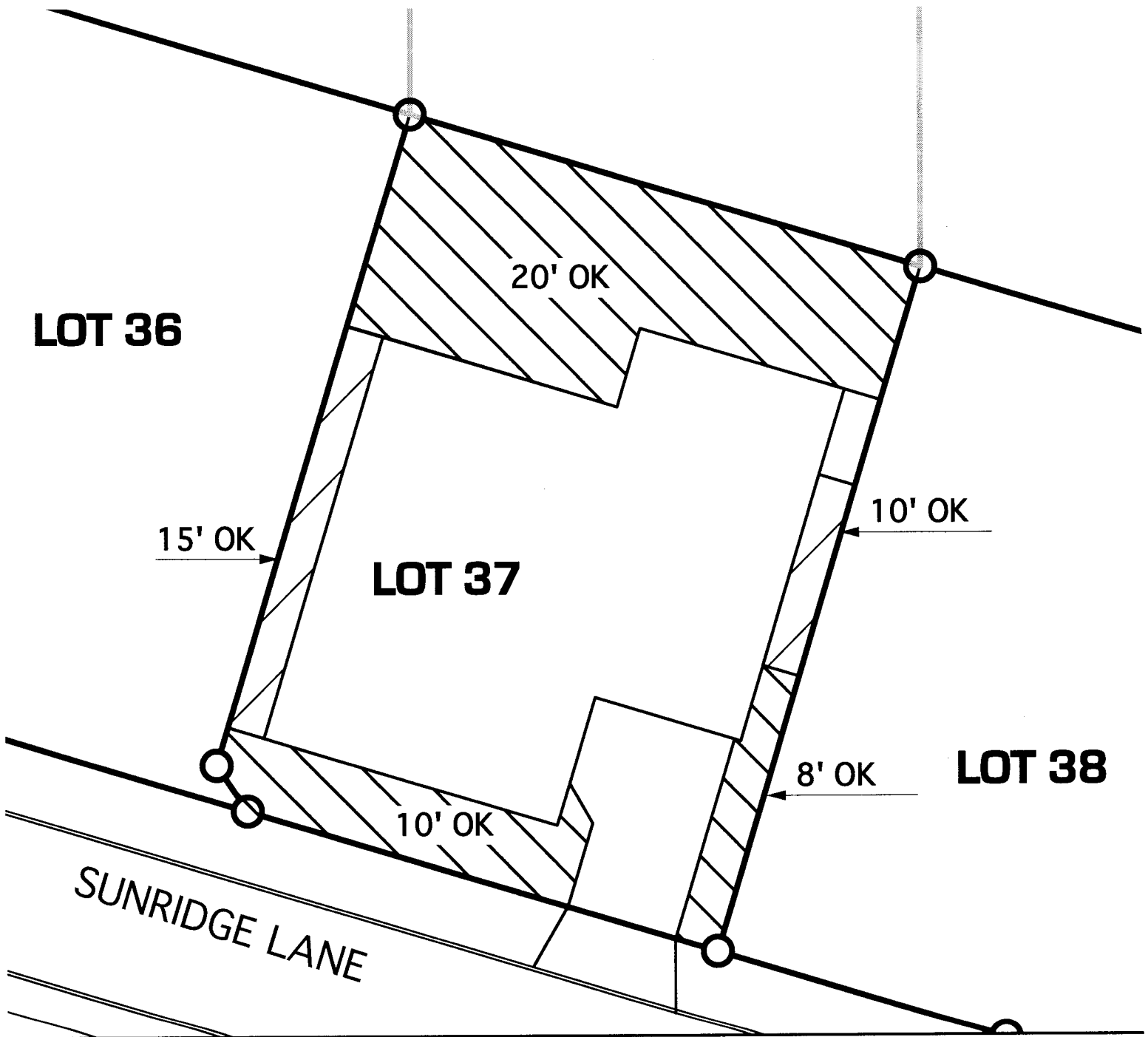


VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 34

SCALE: 1" = 20'





VEGETATION HEIGHT EXCEPTION AREAS
ALL OTHER AREAS: PLANTS MUST BE 6 FEET OR LESS

LOT 37

SCALE: 1" = 20'

